

Town of Walden
Planning Commission Agenda

Walden Town Hall
1836 Taft Highway

June 22, 2023
5:30pm

- I. Call to Order
- II. Roll Call
- III. Consideration of the Minutes
- IV. Town Administrator Report
- V. Communication from Chair and Commissioners
- VI. Hearing of Persons having business with the Commission (limited to matters not specifically on the agenda)
- VII. Unfinished Business
 - a. Discussion and Recommendation to Board of Mayor and Alderman for adoption of amendments to the zoning ordinance (first set of amendments)
 - i. 1.07 Definitions
 - ii. 2.01 Division into Zones
 - iii. 4.04 General Commercial Zone
 - iv. 4.03 R-1 Residential (d) Special Uses Permitted
 - v. 6.01 and 6.02 Steep Slopes and Escarpments
 - vi. 4.05 Town Center Zone
- VIII. New Business
 - a. Final Plat Approval Request – Parson’s Lane Subdivision
 - b. Design Review Standards
 - c. Discussion – Workshop to discuss Design Review Standards in July
 - d. Discussion setting the agenda for August WPC Meeting
 - i. Request to Abandon Right-of-Way – 2nd Street at McLean Ave.
 - ii. Zoning Ordinance Amendments
 - 1. Design Review Standards, Application, and Checklist
 - 2. 8.01 Applications for Special Permit, Part (j) Mixed Housing Types
 - 3. 8.01 Applications for Special Permit, Part (n)
 - 4. Short Term vacation rental ordinance
 - 5. Tree ordinance

Town of Walden
Walden Planning Commission
Regular Monthly Meeting
May 25, 2023

Call To Order

The meeting was called to order at 17h32 PM by Tim Hancock.

Roll Call

Mariah Prescott, Town of Walden called the roll.

Commissioners:

✓ Tom Bartoo	✓ Werner Slabber
✓ Angela Cassidy	✓ Bill Trohanis
✓ Tim Hancock	X Lou Ziebold Excused on vacation
✓ Joe Robbins	

Staff:

- ✓ Ashley Gates, SETDD
- ✓ Chad Reese, SETDD
- ✓ Mariah Prescott, Town of Walden
- ✓ Sam Elliott, Town of Walden

Adoption of the Agenda

Changes to the agenda: None

Previous Meeting Minutes

April 27, 2023 Previous minutes correction C 2.01 Joe Robbins Yes and Tim Hancock Nay			
Motion: To approve 4/27/23 minutes with corrections			
M	Tom Bartoo	✓	Werner Slabber
2nd	Angela Cassidy	✓	Bill Trohanis
✓	Tim Hancock	-	Lou Ziebold
✓	Joe Robbins		

Communication from Chair and Commissioners

- a. Review of Sunshine Law application to WPC – Communication go through Town Administrator
 - i. Tim emphasized that all communication to Mariah for distribution
 - ii. Private and Public communications

- b. Limiting of future agendas – staff or body drive / to what we can reasonably cover – max around 2 hours
 - i. Tim discussed new Agenda flow and format that will have to be voted on

Hearing of Persons having business with the Commission (limited to matters not specifically on the agenda)

Kirby Yost Chambliss Law

Asking to have process for special permits

Discussion about deadline for submitting information

Discussion- Public comment submissions should be submitted to Walden Town Administrator 15 days in advance of next WPC meeting.

Discussion to work with intent of plan

Asking questions with regards to heightened review for permits larger than 5000sf

Micky Robbins 403 Glenway Ave

Talks about average property values of different communities

His opinion seems to be that big shopping facilities are related to lower property values

Discusses his view of the current situation in Walden and urges that careful consideration be given good land use planning

Ed O' Kelley

Asking about Rezoning Sizes

His research shows a 2600 people growth on the mountain. Not sure what time span his numbers were taken over.

His opinion is that there will be more growth with all the good schools on the mountain.

He states that businesses are not sustaining

Tony Wheeler

4.05 f.

Talks about escarpment development

Discusses sewer and stormwater issues

Tim Requests MAP with topo be made available on website.

Margha Davis 2115 Altura Drive

Discusses need for small anchors in Town Center

Discusses the delicacy and care that needs to be taken while considering development in a community with a special character and to be sensitive to not to destroy

Discusses people shopping off the mountain

Joe Davis 2115 Altura Drive

Discusses max footprint standards for developments

Discusses current Town Plan and current character of small scale and mixed uses

Cathryn Colby – Environmental Committee

Discusses meaning of open space

Gene Trohanis 6426 Forest Park Drive

Discusses traffic

States that schools draw more people and businesses are needed to serve needs of increasing population

Unfinished Business

a. 4.05 Town Center Zone

Discussion:

Staff:

Town Center Zone

1. Mariah- Fees voted on already.
2. Ashley-Page 7 Town of Walden plan not always following property lines.
 - a. Plan could be updated
 - b. Allow proposals from owners for review
3. Tim – States that discrepancies exist
 - a. Clarified that 15,000sf does not appear in zoning code as currently in place or in the Town Plan as adopted

4.05 Page Turn

1. Attempt to align zoning ordinance with Land Use Plan
2. Discussion to provide Tie-Back description for
 - a. TC1 – To be TCMU
 - b. TC2 – To be known as TCR Town Center Residential
3. Cassidy and Tom in favor of Design standards
4. Cassidy and Robbins opposed to removing 15,000 square foot maximum on building footprints

Motion: No formal motion was made.

	Tom Bartoo		Werner Slabber
	Angela Cassidy		Bill Trohanis
	Tim Hancock		Lou Ziebold
	Joe Robbins		

New Business

a. Amending By-Laws to Reflect the new agenda order

Discussion: Chairman Hancock stated that the By-Laws needed to be formally amended.

Motion:

Motion to amend the WPC bylaws to reflect the Order of the Meeting as reflected on the 5/25/23 agenda.

✓	Tom Bartoo	✓	Werner Slabber
M	Angela Cassidy	2nd	Bill Trohanis
✓	Tim Hancock	✓	Lou Ziebold
✓	Joe Robbins		

b. Discussion and Recommendation to Board of Mayor and Alderman for adoption of amendments to the zoning ordinance (first set of amendments)

Discussion:			
<ul style="list-style-type: none"> ii. 1.07 Definitions -Forward to Mayor and Alderman iii. 2.01 Division into Zones iv. 4.04 General Commercial Zone v. 4.03 R-1 Residential (d) Special Uses Permitted vi. 6.01 and 6.02 Steep Slopes and Escarpments vii. 4.05 Town Center Zone <ul style="list-style-type: none"> 1. Town Center boundaries with designations to be sent to Mayor and Alderman 			
Motion (if any): Motion to defer the proposed Zoning Ordinance Text Amendments until the next meeting when staff will provide documents with all requested revisions.			
M	Tom Bartoo	✓	Werner Slabber
2 nd	Angela Cassidy	✓	Bill Trohanis
✓	Tim Hancock	-	Lou Ziebold
✓	Joe Robbins		

- c. Discussion and Recommendation to Board of Mayor and Alderman for means of implementation of zoning districts in the Town Center Area

Discussion: Topic was covered in discussion of 4.05 Town Center Zone			
Motion: No action taken			
	Tom Bartoo		Werner Slabber
	Angela Cassidy		Bill Trohanis
	Tim Hancock		Lou Ziebold
	Joe Robbins		

- d. Discussion and Recommendation to Board of Mayor and Alderman regarding submittal requirements for rezones in the Town Center Area

Discussion: <ol style="list-style-type: none"> 1. Staff presented example applications checklists 2. Staff stated that site-specific information was appropriate to request, but detailed design plans are not often completed ahead of a rezoning. 3. More detailed plans would be reviewed by Design Review Board 4. Traffic impact, environmental impact, and market studies were discussed 			
Motion (if any): No action taken			
	Tom Bartoo		Werner Slabber
	Angela Cassidy		Bill Trohanis
	Tim Hancock		Lou Ziebold
	Joe Robbins		

- e. Discussion and Recommendation to Board of Mayor and Alderman for designation of the Walden Planning Commission to serve as the Design Review Board (DRB) on an interim basis for one year

Discussion: Makes sense to have a single board at this time Additional board may be appointed later			
Motion (if any): No formal motion made			
	Tom Bartoo		Werner Slabber
	Angela Cassidy		Bill Trohanis
	Tim Hancock		Lou Ziebold
	Joe Robbins		

Discussion setting the agenda for June WPC Meeting

Discussion:

- i. Request to Abandon Right-of-Way – 2nd Street at McLean Ave.
- ii. Zoning Ordinance Amendments
 - 1. Design Review Standards – priority for Future
 - 2. 8.01 Applications for Special Permit, Part (j) Mixed Housing Types
 - 3. 8.01 Applications for Special Permit, Part (n)
 - 4. 4.05 Town Center Overlay
 - a. Provide Town Center Boundaries with Designations

Discussed focusing on initial batch of amendments, and starting on Design Review Standards.

Motion (if any):
No formal motion made

	Tom Bartoo		Werner Slabber
	Angela Cassidy		Bill Trohanis
	Tim Hancock		Lou Ziebold
	Joe Robbins		

Adjournment

The meeting was adjourned at 20h30 PM by motion by Bill and Werner second

MEMORANDUM

To: Members of the Walden Municipal Planning Commission

Cc: Mariah Prescott, Town Administrator

From: Ashley Gates, Senior Planner

Date: May 19, 2023

Subject: Discussion and Recommendation to Board of Mayor and Alderman for adoption of amendments to the zoning ordinance

Section of Zoning Ordinance	Staff Notes
1.07 Definitions	With open space moving to the Design Review Standards, staff recommends moving forward with these definitions. Definitions for the open space requirements are provided in the Design Review Standards.
2.01 Division into Zones	Since the June meeting, a section for the Town Center Boundary was added, as discussed.
3.10 General Provisions applicable to the Town Center.	In June, the Town Center area no longer includes sub-districts, but rather two separate zones. The portions of regulations applicable to both zones are included in this section. It was the intent of staff to simply move this section, including all requested changes. However , the requirements for a rezoning application was left for staff to determine. Staff recommendation on is provided in this section for PC review.
4.04 General Commercial Zone	No additional alterations have been made since PC recommendation in April.
4.03 R-1 Residential (d) Special Uses Permitted	No additional alterations have been made since PC recommendation in April.
6.01 and 6.02 Steep Slopes and Escarpments	No alternations have been made since PC recommendation in March.
4.05 Town Center Zone	Staff has updated this section to reflect: <ul style="list-style-type: none"> • Requested changes from May meeting • Separated into two zones – TC-MU and TC-R Staff recommends that Planning Commission review to ensure all requested changes are reflected.

Town of Walden

Town Center Development Process

Draft, 6/14/2023

1. Rezoning Pre-application with staff

Preliminary materials may be provided. Discuss requirements for rezoning.

2. Application for Rezoning – TC-R or TC-MU

Application submitted to Town Hall with the following materials:

- Application and Fee
- Map of site with existing conditions
- Conceptual site plan
- Narrative impact statement – traffic impact, environmental impact, economic viability
- Any supporting documentation

3. Rezoning application reviewed by Planning Commission for compliance with the Walden Land Use Plan. Planning Commission provides recommendation to the Board of Mayor and Alderman.

4. Rezoning voted on by Walden Board of Mayor and Alderman – two readings, one with with public hearing

5. Design Review / Subdivision Plat Process - May occur concurrently	
Design Review / Special Permit Process	Subdivision Process
<p>A. Design Review Pre-application with staff</p> <p>B. Submission of Design Review Application and Special Use Permit Application to include:</p> <p style="padding-left: 40px;">a. Final site plan prepared by a Tennessee licensed engineer or surveyor for the development to include the site boundary, topographic information, flood and other natural feature information, location of all buildings or other structures, interior streets, parking areas, open space, utilities, and all other features and facilities to be installed or used in</p>	<p>A. Submission of Preliminary Plat</p> <p>B. Planning Commission reviews and approves/denies Preliminary Plat. Plat will be reviewed against approved/submitted Design Review Application.</p> <p>C. Completion of infrastructure improvements or filing of adequate performance guarantee with Town of Walden</p> <p>D. Submission of Final Plat</p> <p>E. Planning Commission to vote on Final Plat</p> <p>F. Final Plat signed by water utility, Hamilton County Groundwater, Hamilton County Water Quality and Town of Walden</p>

<p>connection with the proposed development.</p> <ul style="list-style-type: none"> b. Applicable calculations that indicate compliance with the provisions of the zoning designation shall be included on the site plan in tabular format; c. Exterior Lighting Plan showing fixture locations, specifications, and lighting levels. d. If requested by the Design Review Board, a geotechnical survey for the entire site; e. A detailed landscape plan to include the location and species of all plantings and the location and design of all fences and walls; f. Elevations of all building facades to include dimensions, materials, and applicable calculations in tabular format to indicate compliance with the provisions of the Walden Design Review Standards; g. For projects exceeding 5 acres, an environmental impact assessment h. For commercial buildings exceeding 5,000 square feet, a market study showing the impact of the proposed commercial use on existing area businesses; i. Traffic Impact Study, and when applicable, documentation from TDOT showing compliance with their highway access permit requirements for any access points along Taft Highway; and j. additional information necessary to satisfy Town of Walden of Hamilton County requirements for engineering, 	<p>NOTE: Final Plat should not be signed and registered prior to approval of Special Use Permit if applicable</p>
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<p>wastewater, and stormwater management.</p> <p>C. Design Review Board approves, approves with conditions or denies application</p> <p>D. Mayor of Board and Alderman approves or denies Special Use Permit (if applicable).</p>	
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6. Obtain required building, groundwater, and water quality permits (Hamilton County)

From: Catherine Colby <catherinelcolby@gmail.com>

Sent: Friday, June 9, 2023 9:50 AM

To: Ashley Yingling Gates <agates@sedev.org>; Ellen Young <eyoung@waldentn.gov>; mariah Prescott <mprescott@waldentn.gov>

Subject: Open Space and Slope thoughts following the EC meeting.

Good Morning Ashley,

Here are some notes and comments that Walden's Environmental Committee unanimously voted to send you in preparation for comments to the WPC and Town Board.

(1) First, regarding slopes, here are ideas and definitions that we love from Pennsylvania's Municipalities Planning Codes, obviously a region that covers areas with hilly terrain. Look under the section defining steep slopes. Our committee believes that in Walden, slopes **over 25%** should have strict restrictions with as little disturbance as possible to protect the watershed from sedimentation and erosion and other negative effects. Walden's erosive soils and near-surface bedrock are susceptible to rapid and severe damage when there is disturbance.

<https://conservationtools.org/guides/59-steep-slope-ordinance#:~:text=Municipalities%20use%20zoning%20regulations%20to,landslides%2C%20and%20pre-serve%20scenic%20hillsides>

(2) Second, we had a great discussion and found excellent resources to help define what **Open Space** and **Green Space** mean in Walden.

One thought - why doesn't Walden follow US Green Building Council / LEED criteria as guidelines? Walden should go above and beyond if/when we pursue development.

- **OPEN SPACE REQUIREMENT (From the US Green Building Council):** Provide outdoor space greater than or equal to 30% of the total site area (including building footprint). A minimum of 25% of that outdoor space must be vegetated (turf grass does not count as vegetation) or have overhead vegetated canopy.

However, the Walden Environmental Committee has already formally recommended that we believe Walden should retain the 50% Open Space requirement initially recommended by Common Ground after consultation with and consideration of our specific community.

Open Space is public, exterior, intentionally undeveloped, creates community, contributes to economic stability, and supports mental and physical health. It encourages interaction with the environment and promotes social interaction, activities, exercise and communication.

- rest, recharge, play, gather, meet, talk
- free, safe, and accessible for all ages, ADA compliant
- should include water fountains, benches
- could include stormwater retention ponds *with conditions* (ie native landscaping and plant diversity, benches, path. A fenced rectangular stormwater pit is NOT Open Space)
- could include urban garden/pollinator garden
- could count a grassy area ONLY if there are amenities like benches
- could include a gazebo, children's play areas
- could include trails, woods, fields and parks if accessible and inviting
- should be visually appealing with a large percentage of **Green Space** comprised of diverse native trees, shrubs, perennials

Critical Point: Open Space is EXCLUSIVE of roads, sidewalks, parking and sewage drainfields.

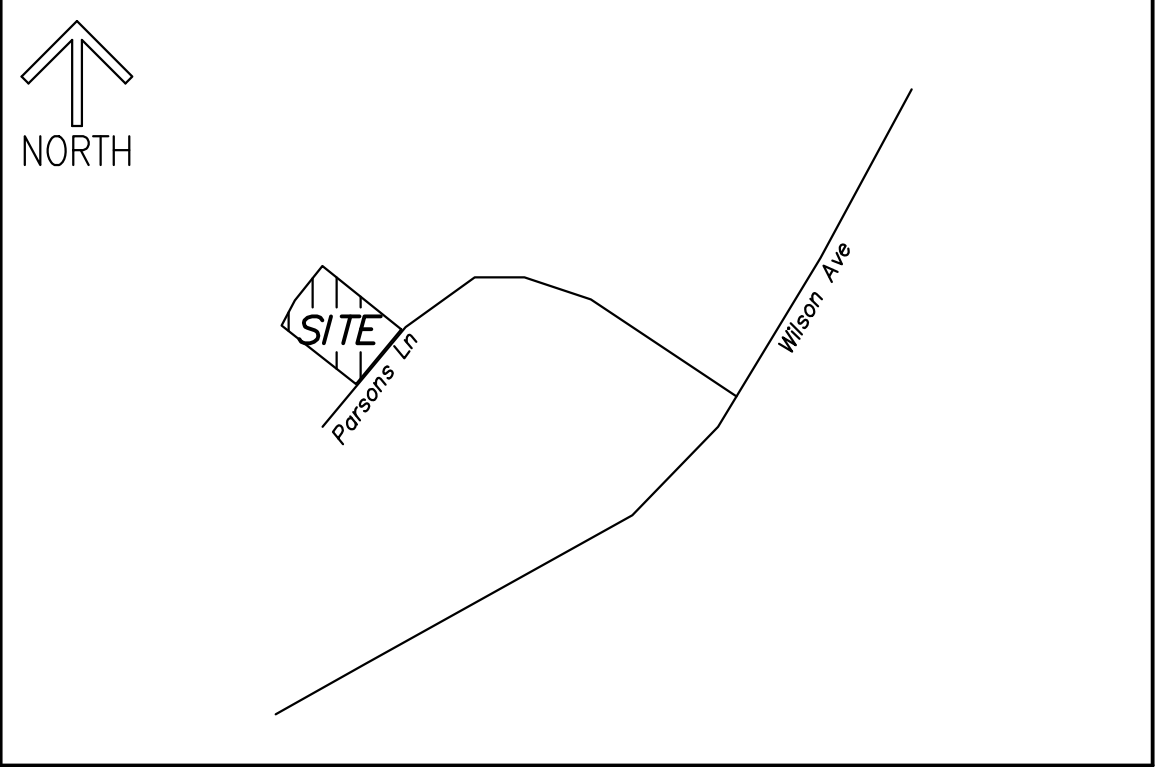
Green Space, according to the US green building council, is defined as land that is partly or completely covered with trees, shrubs, grass or other vegetation. This includes urban parks, trails and community gardens, including roof top or vertical gardens. This does not include schoolyards, playgrounds, public seating areas, public plazas or vacant lots.

Thank you and please reach out if you have any questions or comments.
Best wishes,

Catherine

Dr. Catherine Colby
3103 Fairmount Pike
Signal Mountain, TN 37377

catherineLcolby@gmail.com
(423) 315-2117



I hereby certify that I am the owner in fee simple of this property and I hereby adopt this plan of subdivision.

Oak Post LLC
3021 E Brow Rd
Signal Mnt, TN 37377
(662) 801-2490

REVIEWED
By Ashley Gates at 9:09 am, Jun 06, 2023

I hereby certify that I have surveyed the property shown hereon. That this is correct to the best of my knowledge and belief and that the ratio of precision of the unadjusted survey exceeds 1 per 10,000 as shown hereon. This is a Class "1" survey.

Copp Engineering Group
1961 Northpoint Blvd, Suite 120
Hixson, Tn. 37343
423-847-9100 Office
423-847-9185 Fax

Seal of Hamilton County, Tennessee, No. 2172, Agriculture, Commerce.

APPROVED FOR RECORDING
HAMILTON CNTY GEOSPATIAL TECHNOLOGY
DATE: _____
BY: _____
HAMILTON COUNTY GROUNDWATER PROTECTION
DATE: _____
BY: _____
JURISDICTIONAL AUTHORITY
DATE: _____
BY: CHATTAHAM CNTY REGIONAL PLANNING COMMISSION
DATE: _____
BY: HAMILTON COUNTY WATER QUALITY PROGRAM
DATE: _____
BY: _____

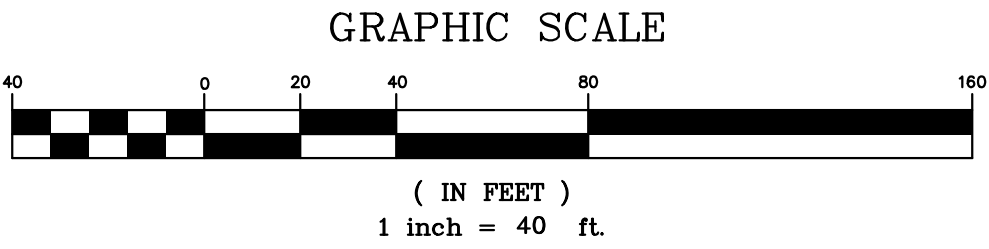
Walden Municipal
Planning Commission

GENERAL NOTES :

1. Zoned : A-1
2. This plat subdivides Deed Book 11959 Page 336 ROHC
3. This plat is developed in accordance to the design standards of the Hamilton County Subdivision Regulations.
4. Area Subdivided : 4.77 Acres ±
5. Local Government does not certify that utilities or utility connections are available.
6. Tax Map # 089K B 019.01
7. This property is not located in the 100 year flood boundary per FEMA Firm Map Number 47065C0020G dated Feb. 3, 2016.
8. Lot 1 is approved for a maximum (4) four bedrooms. Lot 2 is approved for a maximum (5) five bedrooms with Low Pressure System Priamry and Reserve. No tubs over (40) fourty gallons.
9. Hatched area is a subsurface sewage disposal system and duplication area easement. Any cutting, filling or construction within ten (10) feet of this area, twenty-five (25) feet for a basement cut, without prior written approval from the Hamilton County Groundwater Protection and recording of a corrective plat may render this lot unbuildable.
10. No pools without prior written approval from the Hamilton County Groundwater Protection.
11. All notes regarding the subsurface sewage disposal system easement will become null and void if the structure is ever connected to a public sanitary sewer system.
12. Hamilton County Groundwater Protection may require that the SSDS Easement be field located by a surveyor prior to SSD permit issuance if we are unable to verify compliance with the regulations during our site visit.
13. Minimum 25' fieldline setback from all drainage easements shown.
14. A 10' private drainage easement shall be reserved along the exterior boundary of the subdivision except along road frontage. A 5' private drainage easement shall be reserved along the inside of all side lot lines. These drainage easements shall be automatically abandoned if two or more lots are combined or used as one lot, or if no setback is required.
15. The ~~government of Hamilton County~~ is not responsible for the maintenance of any drainage related easements, drainage detention area, or any other drainage related structure of facility.
16. ~~Hamilton County~~ is not responsible for the construction or maintenance of any private drive easement.
17. Unless otherwise noted all property corners to be 5/8" capped rebar set.
18. Purpose of Plat: To Divide Existing Tract into two lots as shown.

Town of
Walden

Parsons Lane
appears to be a
private road.



FINAL PLAT		
Parsons Ln S/D		
Lots 1 & 2		
HAMILTON COUNTY TENNESSEE		
Date : 04/19/23	Drawn : Dustin	Dwg. No. PARSONS LN - MORRISON\MASTER C.dwg
Scale : 1" = 40'	Checked : WAB	
<u>COPP ENGINEERING GROUP</u>		
1961 Northpoint Blvd. Suite 120		
Hixson, Tn. 37343		
(423) 847-9100 Office		
(423) 847-9185 Fax		